

EWING YOUNG PARK

Chehalem Park and Recreation District

Master Plan Report



WHPacific



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Existing Disc Golf Meadow

Introduction

The master planning for Ewing Young Park has been a two-step process. The first step was to establish baseline data in the form of an environmental and cultural assessment including base mapping and site analysis. WHPacific, Inc. prepared this first step; the **"Environmental Site Analysis"** report in 2017, which identified and mapped the existing uses, the natural resources, the limits of periodic flood waters, noted the jurisdictional land use protection measures, and identified the opportunities and constraints.

This baseline information was essential to start a public involvement process and became the catalyst for the second step in the process; the **"Master Plan."** WHPacific, Inc. prepared this Master Plan throughout 2018 including a neighborhood meeting, development of the program, collaboration with Park District Staff and review by the Parks Board, preparation of the master plan drawing and construction cost estimates.

The District acknowledged that a successful master planning process must be based on the following community values:

- Capture the community's vision and desire for recreational facilities and use the District's assets to heighten the quality of life in the community.
- Respect the constraints of the land and minimize unforeseen and negative impacts.
- Understand the values and priorities of the Park District and the community.



Open House / Public Meeting

A public meeting was held on 11/28/2017 to have conversations with the community and current user groups about the park. Public notices were sent out to the surrounding neighborhood and known interested parties were invited including representatives from the BMX track, the skate park, the disc golf course and the dog park.

The design team came prepared with site analysis materials prepared during the first phase Environmental Site Analysis. Maps were presented showing the existing trails and the extent of the flood plain. Image boards were prepared to give the public ideas of the types of facilities found in other parks that could be a precedent for Ewing Young Park. These included images of:

- Bike Parks
- Play Grounds
- Trails and Bridges
- Interpretive Elements

The Trails Map, Existing Conditions, and Precedent Images boards that were presented during the public meeting are shown on the following pages.





WHPacific

EWING YOUNG PARK TRAIL MAP



LEGEND

- Main Trail Loop
- Secondary Trails
- Creek
- Property Boundary

Existing Conditions: Ewing Young Park



Disk Golf Field



Parking Lot



Bridge



Skate Park



Caretaker Home



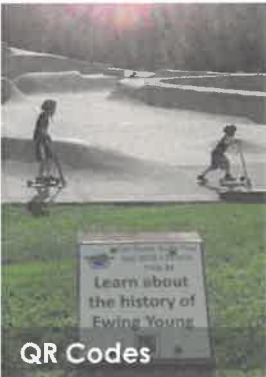
Hoover Pond



BMX Track



Woodland Trails



QR Codes



Playground



Picnic Shelter

Precedent Images: Ewing Young Park



Adventure Play Embankment Options



Nature Play



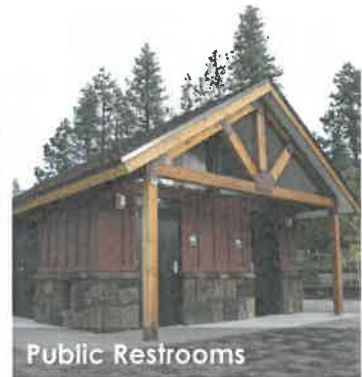
Additional Disk Golf Amenities & Course Extension



Parking Lot Improvements



Picnic Area Amenities



Public Restrooms

Precedent Images: Ewing Young Park



Mountain Bike / Multi-use Trails



Trail Signage



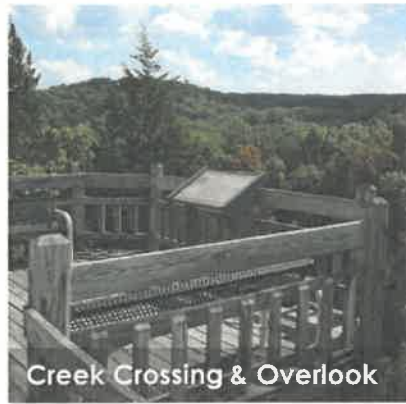
Youth Pump Track



Bike Skills Course



Interpretive Signs



Creek Crossing & Overlook



Open Lawn & Picnicking



Meeting Documentation

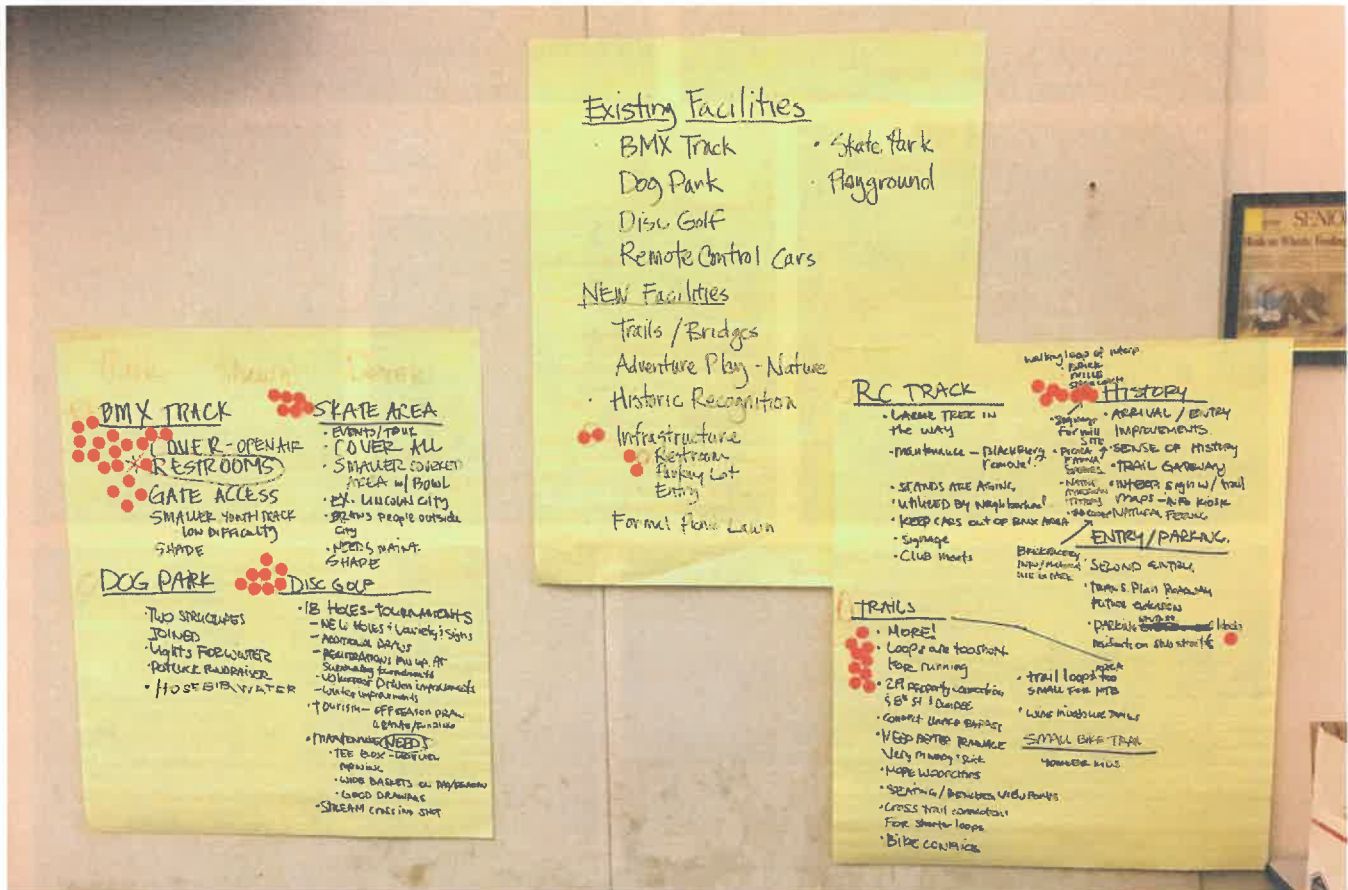
As topics were discussed, the design team recorded the comments on flip charts. Another team member took detailed notes of the comments.

At the conclusion of the discussions, attendees were given the opportunity to vote for the elements they felt were the highest priority. Each attendee was given three dot stickers to put on the flip charts adjacent to their selected topic.

The design team compiled the comments and weighting factors of the voting and used this public input as the basis for the programming for the master plan. A copy of the meeting notes is included.



Public Meeting



Flip Charts w/ Dots

Meeting Minutes - Open House / Public Meeting

Date: November 28, 2017

Time: 6:00-8:00pm

Location: Chehalem Park & Recreation District Senior Center

I. Introduction

- Don Clements, CPRD Superintendent:
 - o Doing development over the years and decided to move forward with a comprehensive plan.
 - o "Everything is on the table."
- Mark Hadley, WHPacific:
 - o Approx. 5 people that were present are direct neighbors to the park
 - o Master Plan process is based on 3 goals:
 1. Community conversation – what would benefit you as park users.
 2. Respect the land, understand the environmental conditions – Purpose of the Environmental Assessment.
 3. Guidance for the park district how to best use their funds.

II. Future Park Improvements – open discussion with community, facilitated by Mark Hadley

- BMX Track
 - o "Groundskeeper" stated it's a lot of maintenance
 - o Desire to add a cover over track – No walls, roof only.
 - Increase use of facility for all seasons
 - Races take place from May to Mid-October – Ewing Young track only able to provide for half of the season.
 - o Proposed idea of building a secondary smaller track behind/adjacent to the current track and covering that.
 - Precedent Project – Lincoln City (has 1 covered skate area and 1 not)
 - o Current BMX Track is attractive due to its U-shape and variety – not its length. Can be rebuilt smaller to allow for covering.
 - o Need to consider requirements that allow it to be a sanctioned track (point system).
 - o Current track is too advanced for younger kids – "Groundskeeper" wants to implement a 3 tier skill level zones.
 - Precedent Project – Salem
 - o Fence off entire track that locks when closed
 - Current conflict with Remote Control Car users who drive their cars on the BMX track and create ruts - need signage and boundary.

- Helps with maintenance and longevity
- o Revenue generating potential with BMX track but in order to achieve that the parking and restrooms need to be improved and elevated.
 - Vendors from events can use parking lot
- Skate Park
 - o Desire to cover the skate park
 - Showing signs of wear and tear – surface is eroding
 - Approx. life span is 25 years, this skate park is approx. 15 years old
 - Covering would prolong its life and provide all year round use (shelter from the rain and shade from the sun)
 - Nowhere in Portland (besides under the bridges) has a covered skate area
 - Newberg residents commented they drive to Eugene to use their covered skate park
 - Mountain Dew Tour in Portland came to Newberg for their skate park
- Dog Park
 - o Propose the 2 covered facilities become joined as 1 (break in the roof)
 - o Positive response to the current separation of areas for large and small dogs
 - o Desire for adding a light to extend the use time, especially in the winter
 - Ewing Young Park closes at dusk
 - o Dog park users host pot lucks with cash donations from time to time to chip in for improvements/ lighting.
- Disc Golf
 - o Gentlemen at the meeting go to the course almost every weekday, even in the rain, as long as it is not too wet.
 - o The course needs improved maintenance – lack of mowing is problematic, once grass is 8” or higher it is difficult to find your disc.
 - o The course needs better signage and improved tee pads
 - o People who don’t disc golf use the course as a means to walk around the park
 - Disc golfers and walkers do not currently pose a conflict of uses
 - o Support for the expansion to 18 holes, utilizing the entire park property
 - Expansion would give variety to the disc golf community
 - Excited about the prospect for a shot across the creek
 - It’s a low impact use – extending across the creek and risking it being in the floodplain is not an issue to the users
 - Would market to more tournaments – increased use
 - Tournaments would lead to increased tourist and revenue for the city
 - Example: Salem has a tournament for 200 people in January that is already completely filled with participants.
 - George Fox University Disc Golf Team hosts a tournament at the end of the 1st semester in Champoeg – Opportunity to host at Ewing Young?

- Don spoke: November - March is a slow time with a lack of visitors – keep in mind anything that can be done to increase tourism during that time
- o Champoeg Disc Golf Course (what makes it great)
 - Large, pizza shaped tee pads
 - High end baskets and variety of locations (located on mound, stumps, the ground)
 - Well maintained, great signage, good drainage
 - Drawback is that it is a flat course, the course at Ewing Young Park has better topography change
- Remote Control Car Track (RC Car)
 - o RC Car Club expressed desire for the track to remain
 - o Remove tree in the center
 - o Add barrier to prevent cars from going off course and into the blackberry
 - o Track needs maintenance and replace the stand
 - o Current conflicts with BMX track
- Trails and Bikes
 - o Add non paved trails for increased running/walking variety
 - Don shared the long-term regional connection goal (connect to 219 and Dundee) as well as the goal to cross the river and connect to Champoeg
 - o In the winter the trails with wood chips are dry and usable and areas without are slick, wet, and muddy
 - o Create connecting cross trails to allow users to adjust their running/walking to longer or shorter distance loops. This relates to the property on the other side of the creek.
 - o Add benches
 - o Bikes should not have access to all trails – concern about conflicting uses
 - Bike use only be along bypass towards Dundee and not in park?
 - Precedent – Champoeg has wide trails for both uses and narrower trails for one use only
- Historical Interpretive Elements and Signage
 - o Improve entry to capitalize on the site's historical importance. Your entrance is currently focused on the dog park, BMX track, and skate park
 - o Needs better signage – trails are currently hidden and difficult to find their access point
 - o Addition of signage along trails that touch on 2 themes
 - Interpretive – Historical features, Native Americans
 - Environmental – Flora and fauna
 - o Precedent – River Bend camping area near Sweat Home – site has benches, no biking trails, and signage for historical and flora/fauna elements.
 - o Brick material has historical significance – can be used throughout park for signs
 - o QR codes for signage that you pull up on your phone would reduce maintenance

- Park Entry

- o Opportunity to add a secondary entrance at the stub street off of Charles
 - Already an issue for parking there for people who live there – creating a park entrance could pose a bigger parking issue.
- o Concern raised about security of the site if there were multiple entrances and restroom facilities
 - Don informed the concerned resident that increased vitality in the park will create a deterrent and move homeless out.

- Parking Lot Improvements

- o Need paved lot
- o Need more parking
 - During BMX events overflow parking is directed down along the loop around the old dump site
 - One entrance and exit creates a jam
 - Opportunity to charge for parking during events and have the overflow located at the school

- Restrooms

- o Bathroom situation is bad – Needs to be the 1st improvement
 - Precedent – West Linn has a self-locking bathroom facility
- o Build from natural materials would create greater historical connection

- Playground

- o Add amphitheater to allow for small gatherings – Shakespeare in the park
 - Pristine, natural setting
- o Expressed interest in “Messy” nature play
 - Precedent – Champoeg has a nature play area featuring a sand and water pump
 - Asking for a “place to be” and not too much development
- Overall concern about balancing the natural features and the developed areas (BMX track/skate park) – All areas of the park need attention.

end of meeting minutes

Program Development

Following the public meeting, the design team met with Park District Staff and reviewed the comments and the compiled voting data and formulated the program to guide the master plan. The program was divided into high priority projects that could realistically be implemented in 5 years and longer term projects as 20 year park development goals.

The Site Master Plan drawing is a direct result of the open house, public input, and programming. The master plan and phased program is a living document to guide the future of Ewing Young Park. The Park District will use the master plan in future capital improvement plans and can target individual elements for grant applications.

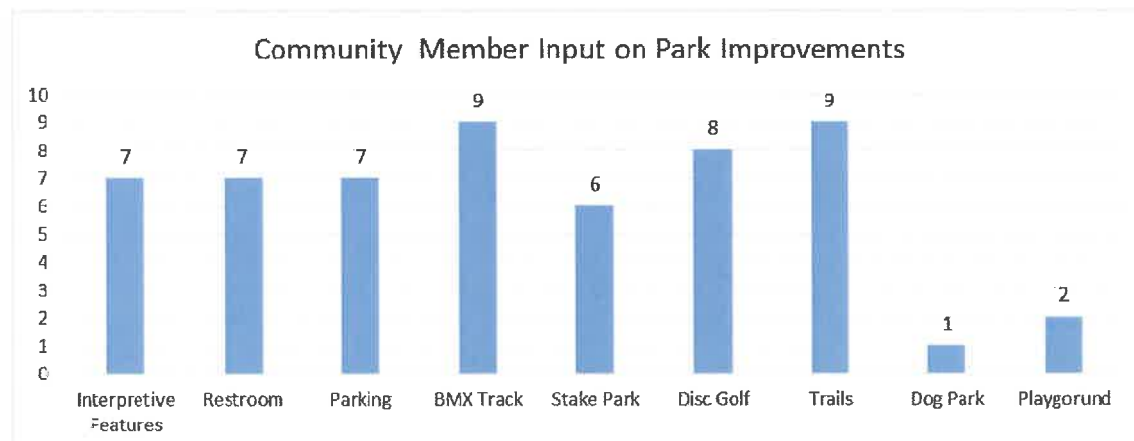
IDENTIFYING NEEDS

This program has been prepared for Chehalem Parks and Recreation City and Parks staff with input from stakeholders including City staff, Parks staff, and community members.

Community Member Survey Results

A community meeting to discuss the master planning of Ewing Young Park was held at Chehalem Senior Center in Newberg on November 28, 2018. In attendance were 30 community members, Chehalem Parks and Rec. Staff, and WHPacific Design Staff. The group discussed results of the environmental assessment, current park uses, maintenance needs, and future improvement opportunities.

Following the open house discussion, the community was provided an opportunity to vote on specific improvements they felt were most important. Some members left prior to the voting activity and their opinion may not be represented. The results of the survey have strong support for improvements to the BMX track, disc golf course, and trail system. Adding a restroom was considered a high priority through discussions with the community, as it would support all activities within the park.



OVERALL MASTER PLAN GOALS:

- This is primarily a nature park, with sports and recreation as a secondary focus.
- Balance passive and active recreation
- Promote year round use for current activities and improve parking
- Expand park and connect across Chehalem Creek
- Acknowledge the site's history
- Add restrooms

5 Year Program

Entrance and Parking Lot

- Create a Park Entry to enhance the sense of arrival, orientation, and history
- Pave parking lot and formalized layout; include loading and ADA spaces.
- Increase parking capacity to accommodate larger events.
- Designated location for food cart vendors and a concessions stand.

Amenities

- **Priority Improvement:** Add restroom(s) that are self-locking; natural materials and colors. Integrate a concession stand with structure and orient towards parking lot.
- Interpretive Kiosk and wayfinding maps.
- Interpretive elements in park referencing flora and fauna, historic significance, and industrial past.

Disc Golf Course

- Course improvements: signage, marked level tee boxes, upgrade baskets and vary location challenge.
- 18 hole expansion for regional tournaments.
- Expand to area across creek.
- Signature hole across creek.
- Maintenance program for mowing and erosion.

20 Year Program

Entrance and Parking Lot

- Secondary exit from parking lot for use with large events and maintenance vehicles.

BMX Track

- Covered track structure with gate access – Would enable racing in all seasons and weather conditions; fence off, no walls; track size can decrease if necessary.
- Incorporate standards to become sanctioned point system track
- Secondary small track area for youth and keep separate from R.C. car track. Not Covered

Trails

- Improve and expand distance of non-paved trails for walking and running.
- Regional trail connections.
- Add benches at viewpoints.
- Limit bike access or widen trails.
- Improve drainage and wet or unstable surface conditions.

Dog Park

- Unite two structures
- Retain two separate areas
- Lighting for evening uses in winter

Skate Park

- Covering skate park: prolong lifespan, increase use
- General maintenance

Playground

- Interest in natural play area.

Meeting Minutes - Chehalem Parks & Recreation Board of Directors

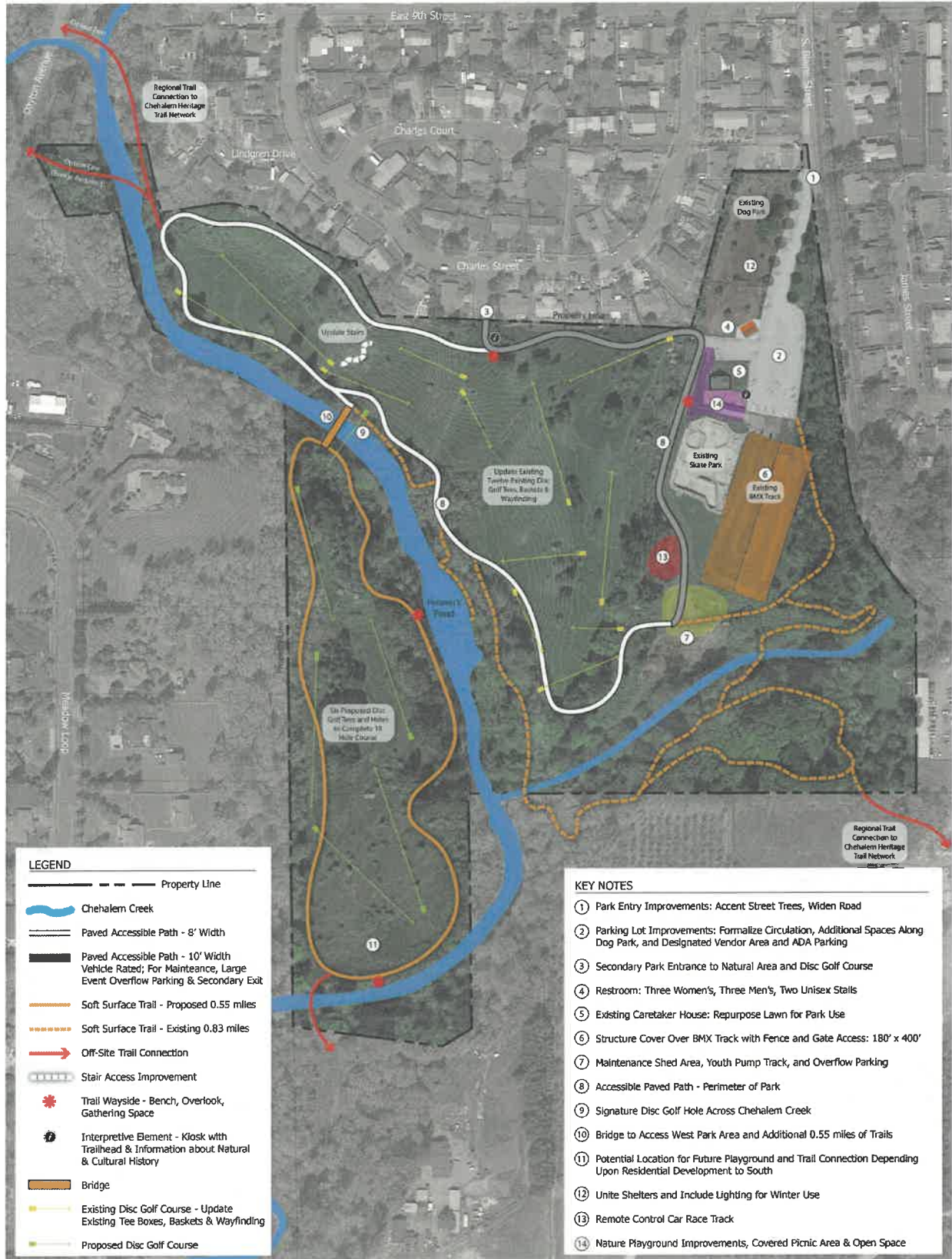
Date: January 11, 2018

CPRD Board of Directors

Work session meeting notes: Review and discussion of the Ewing Young Park Draft Master Plan

1. Board agreed to keep focus of this park as a nature park first, and recreational sports as secondary.
2. Consensus on willingness to expand disc golf course to 18 holes and upgrade Tee boxes, hopefully in a partnership with local disc golf group, providing in-kind labor.
3. Mike Ragsdale requested the Board make a policy decision on the purpose of the caretaker's house.
4. Mark Martin recommended the concession stand should face the road or main area.
5. Board agreed to prioritize expanding the trail to the Yamhill County landfill property and building a trail over Chehalem Creek.
6. Don Clements recommended applying for an in-kind grant for trails and restrooms (He estimated installing permanent restroom structures at approximately \$300,000), and a state grant for bridge across Chehalem Creek.
7. Board agreed to prioritize expanding and enhancing trails at Ewing Young Park, as discussed in the initial public meeting.
8. The Board agreed to explore the potential for a paddle launch at the mouth of Chehalem Creek.
9. Pete Siderius mentioned enhancing the stream for its current salmon spawning, in the whole lower end of Chehalem Creek.

Master Plan Drawing



Cost Estimate

Ewing Young - Master Plan

Project No.: 20287
 Client: Chehalem Parks and Recreation District

Date: 10/8/2018
 By: S. Golos
 M. Hadley

EWING YOUNG PARK - MASTER PLAN ESTIMATE

Park Design Studio Estimate

ITEM NUMBER	DESCRIPTION	EST. QTY.	UNIT	UNIT COST	TOTAL	TOTAL ESTIMATED CONST. COST
EXISTING CONDITIONS & PREPARATION						
1.00	MOBILIZATION	1	LS	\$20,000.00	\$20,000.00	\$20,000.00
2.00	SURVEY CONSTRUCTION STAKING	1	LS	\$7,500.00	\$7,500.00	\$7,500.00
Subtotal						\$27,500.00
PARKING LOT						
1.00	EXCAVATION (2" EXISTING GRAVEL)	49,249	SF	\$0.15	\$7,387.35	\$7,387.35
2.00	ROUGH GRADING	49,249	SF	\$0.40	\$19,699.60	\$19,699.60
3.00	CATCH BASINS	6	EACH	\$1,250.00	\$7,500.00	\$7,500.00
4.00	MANHOLE	1	EACH	\$12,000.00	\$12,000.00	\$12,000.00
5.00	BASE COURSE (8")	2,463	TONS	\$38.00	\$93,594.00	\$93,594.00
6.00	ASPHALT (3")	893	TONS	\$125.00	\$111,625.00	\$111,625.00
7.00	OUTFLOW PIPE TO CHEHALEM CREEK (8" PVC)	550	LF	\$40.00	\$22,000.00	\$22,000.00
8.00	OUTFALL RIP RAP	1	EACH	\$1,200.00	\$1,200.00	\$1,200.00
9.00	CURB	1,713	LF	\$25.00	\$42,825.00	\$42,825.00
10.00	PARKING LOT WATER QUALITY SWALE	2,072	SF	\$6.00	\$12,432.00	\$12,432.00
11.00	LAWN IRRIGATION - CARETAKERS HOUSE	4,025	SF	\$2.50	\$10,062.50	\$10,062.50
12.00	STRIPING (PER STALL)	65	EACH	\$25.00	\$1,625.00	\$1,625.00
13.00	PARKING SIGNAGE	1	LS	\$1,500.00	\$1,500.00	\$1,500.00
14.00	REMOVE DOG PARK FENCE	279	LF	\$2.30	\$641.70	\$641.70
15.00	INSTALL NEW CHAINLINK FENCE	279	LF	\$30.00	\$8,370.00	\$8,370.00
16.00	NEW GATES	4	EACH	\$350.00	\$1,400.00	\$1,400.00
17.00	SOIL PREP AND MULCH FOR TREE ISLANDS	1,620	SF	\$4.25	\$6,885.00	\$6,885.00
Subtotal						\$360,747.15
EROSION CONTROL						
1.00	WHEEL WASH TRACK-PAD	2	EA	\$2,500.00	\$5,000.00	\$5,000.00
2.00	SILT FENCE	7,500	LF	\$2.75	\$20,625.00	\$20,625.00
Subtotal						\$25,625.00
PAVED ACCESSIBLE PATH (8')						
1.00	CLEARING AND GRUBBING	29,910	SF	\$0.06	\$1,794.60	\$1,794.60
2.00	ROUGH GRADING (2,991 LF)	23,928	SF	\$0.40	\$9,571.20	\$9,571.20
3.00	BASE COURSE (6")	897	TONS	\$38.00	\$34,086.00	\$34,086.00
4.00	ASPHALT (3")	434	TONS	\$125.00	\$54,250.00	\$54,250.00
5.00	RETAINING WALL	800	SF	\$40.00	\$32,000.00	\$32,000.00
Subtotal						\$131,701.80
PAVED ACCESSIBLE PATH - VEHICLE RATED (10')						
1.00	CLEARING AND GRUBBING	17,780	SF	\$0.06	\$1,066.80	\$1,066.80
2.00	ROUGH GRADING (1,270 LF)	12,700	SF	\$0.40	\$5,080.00	\$5,080.00
3.00	BASE COURSE (8") (313 CY)	627	TONS	\$38.00	\$23,826.00	\$23,826.00
4.00	ASPHALT PATH (3") (1,270 LF)	235	TONS	\$125.00	\$29,375.00	\$29,375.00
Subtotal						\$59,347.80
SOFT SURFACE TRAIL (6') - West side of Creek						
1.00	CLEARING AND GRUBBING	25,608	SF	\$0.15	\$3,841.20	\$3,841.20
2.00	ROUGH GRADING (2,900 LF)	17,186	SF	\$0.40	\$6,874.40	\$6,874.40
3.00	SURFACE MATERIAL (6" MULCH)	54	CY	\$80.00	\$4,320.00	\$4,320.00
Subtotal						\$15,035.60
RESTROOMS (3WX2MX2UNI)						
1.00	RESTROOM (1,048 SF)	1	LS	\$300,000.00	\$300,000.00	\$300,000.00
2.00	UTILITIES	1	LS	\$10,000.00	\$10,000.00	\$10,000.00
Subtotal						\$310,000.00
LANDSCAPE						
1.00	STREET TREES AT ENTRANCE	10	EACH	\$250.00	\$2,500.00	\$2,500.00
2.00	LANDSCAPE STRIPS AT ENTRANCE - SOIL PREP AND MULCHING	5,652	SF	\$4.25	\$24,021.00	\$24,021.00
Subtotal						\$26,521.00
PLAYGROUND						
1.00	HYBRID TRADITIONAL/NATURE PLAY	1	LS	\$20,000.00	\$20,000.00	\$20,000.00
Subtotal						\$20,000.00
PROPOSED DISC GOLF HOLES						
1.00	CLEARING AND GRUBBING	76,715	SF	\$0.15	\$11,507.25	\$11,507.25
2.00	ROUGH GRADING NEW FAIRWAYS	76,715	SF	\$0.40	\$30,686.00	\$30,686.00
3.00	MODIFY EXISTING COURSE TO COMPLEMENT NEW COURSE	1	LS	\$5,000.00	\$5,000.00	\$5,000.00
4.00	NEW LAWN SEEDING	76,715	SF	\$0.11	\$8,438.65	\$8,438.65
5.00	TEE BOXES BASE COURSE (4")	8	TONS	\$100.00	\$800.00	\$800.00
6.00	TEE BOXES CONCRETE (4")	360	SF	\$6.00	\$2,160.00	\$2,160.00
7.00	BASKETS	6	EACH	\$500.00	\$3,000.00	\$3,000.00
Subtotal						\$61,591.90

SECONDARY PARK ENTRANCE						
1.00	CLEARING AND GRUBBING	800	SF	\$0.15	\$120.00	\$120.00
2.00	ROUGH GRADING	800	SF	\$0.40	\$320.00	\$320.00
3.00	BASE COURSE (6")	30	TONS	\$38.00	\$1,140.00	\$1,140.00
4.00	ASPHALT (3")	15	TONS	\$125.00	\$1,875.00	\$1,875.00
5.00	PICNIC TABLE - ADA	1	EACH	\$1,464.00	\$1,464.00	\$1,464.00
6.00	PICNIC TABLE - STANDARD	2	EACH	\$1,284.00	\$2,568.00	\$2,568.00
7.00	TRASH RECEPTCLE	1	EACH	\$1,270.00	\$1,270.00	\$1,270.00
8.00	BIKE RACK	1	EACH	\$230.00	\$230.00	\$230.00
9.00	INTERPRETIVE KIOSK	1	EACH	\$5,000.00	\$5,000.00	\$5,000.00
Subtotal						\$13,987.00
WAYSIDES (3)						
1.00	CLEARING AND GRUBBING	1,200	SF	\$0.15	\$180.00	\$180.00
2.00	ROUGH GRADING	1,200	EACH	\$0.40	\$480.00	\$480.00
3.00	BASE COURSE (6")	45	TONS	\$40.00	\$1,800.00	\$1,800.00
4.00	ASPHALT (3")	22	TONS	\$125.00	\$2,750.00	\$2,750.00
5.00	PICNIC BENCH	6	EACH	\$1,035.00	\$6,210.00	\$6,210.00
6.00	PICNIC TABLE - STANDARD	2	EACH	\$1,284.00	\$2,568.00	\$2,568.00
7.00	TRASH RECEPTCLE	3	EACH	\$1,270.00	\$3,810.00	\$3,810.00
Subtotal						\$17,798.00
STRUCTURES						
1.00	BRIDGE AT CHEHALEM CREEK - ACCESS TO WEST PARK	1	LS	\$140,000.00	\$140,000.00	\$140,000.00
2.00	ENGINEERING HYDRAULICS, GEOTECH AND ENVIRONMENTAL	1	LS	\$130,000.00	\$130,000.00	\$130,000.00
3.00	BRIDGE AT CHEHALEM CREEK - NORTH TO DAYTON AVE. - OPTION 1	1	LS	\$140,000.00	\$140,000.00	\$140,000.00
4.00	ENGINEERING HYDRAULICS, GEOTECH AND ENVIRONMENTAL	1	LS	\$130,000.00	\$130,000.00	\$130,000.00
Subtotal						\$540,000.00
OPTIONAL PHASE 2 STRUCTURES						
1.00	BMX OPEN AIR, FULL SPAN COVER	72,000	SF	\$9.30	\$669,600.00	\$669,600.00
2.00	CHAIN LINK FENCE	580	LF	\$30.00	\$17,400.00	\$17,400.00
3.00	SITE PREPARATION AND FOOTINGS FOR COVER	1	LS	\$40,000.00	\$40,000.00	\$40,000.00
4.00	SKATE PARK, OPEN AIR FULL SPAN COVER	26,220	SF	\$9.30	\$243,846.00	\$243,846.00
5.00	SITE PREPARATION AND FOOTINGS FOR COVER	1	LS	\$40,000.00	\$40,000.00	\$40,000.00
Subtotal						\$970,846.00
Project Subtotal						\$2,580,701.25
	Construction Contingency (15%)			15%		\$387,105.19
	General Conditions / Insurance / Bond			11%		\$283,877.14
	General Contactor OH & Profit			5%		\$129,035.06
	Engineering / Environmental / Permits			10%		\$258,070.13
	TOTAL (2018 Dollars)					\$3,638,788.76
	Year 2019 Escalation			5.00%	\$181,939.44	\$3,820,728.20
	Year 2020 Escalation			5.00%	\$191,036.41	\$4,011,764.61

ASSUMPTIONS:

Bridges:

Assumes 10 year flows will pass under bridges. Higher flows will overtop bridges. Assumes spread footing foundations with wing walls built into the abutment. No additional retaining walls included.

Bridges are 75' long x 10' clear width.

Design estimate includes surveying, hydraulicss, geotechnical evaluation, environmental permitting, structural design and project management.

Restroom - Price based on Romtec Sierra 4 - 2048, multi-user with 3 womens, 3 mens & 2 unisex. Concessionn component would be additional.

Preliminary Budgets - The above cost estimate was prepared from a concept master plan only and elements have not been desinged. This cost estimate should only be used for preliminary budgeting purposes.

WHPacific has no control over the cost of labor, materials, equipment, or services furnished by others, or over contractors' methods for determining prices, or other competitive bidding or market conditions. WHPacific's opinions of probable project or construction costs are to be made on the basis of WHPacific's experience and qualifications and represent WHPacific's judgement as an experienced and qualified professional, familiar with the construction industry; but WHPacific cannot and does not guarantee that proposals, bids, or construction costs will not vary from opinions of probable costs prepared by WHPacific.

Next Steps

Ewing Young Park Master Plan Discussion Meeting Monday

Date: Monday Oct. 22, 2018

Location:

CPRD Administration Office

125 S. Elliott Road

Newberg, OR 97132

Meeting Notes:

I. Introductions

Stephanie Armstrong, Yamhill County Associate Planner

Doug Rux, City of Newberg Development Director

Cheryl Caines, City of Newberg Planner

Richelle Klass, Chehalem Valley BMX

Lisa Stumpf, Chehalem Valley BMX

Rachel Thomas, Newberg Historical Society

Britta Stewart, Newberg Historical Society

Don Clements, CPRD Superintendent

Jim McMaster, CPRD Parks and Facilities Supervisor

II. Overview of park history by Don Clements

III. Comments

- Discussion on ADA requirements for trails – Rux said not all trails are required to be ADA.
- Discussion on whether the property is in the City or County, or both. Trails portion in county? County sees it in different sources as two zones, one means own it outright, the other means it would require a conditional use permit. It is outside the UGB, Rux said. Discussion would be needed to determine whether it would need to be annexed into UGB.
- Discussion on park features including existing audio tours and caretaker house. Newberg Historical Society signage plan is underway and historical society would like to partner with interpretative signage efforts for this park.
- Discussion to move traffic onto Charles St. Rux suggested a gate for emergency responder access, and whether access road would need to be widened. Another option is to make traffic one-way.
- Efforts to get access along creek corridor on Dayton; McMaster said he had talked with landowners and they were not opposed, and wanted to know more. Stream corridor. Rux said he is still trying to find tie-in between the park and Ewing Young Park.
- Don said he had thought the entire parcel had been annexed, and had been surprised to learn that it hadn't; small portion still outside.

- Covered BMX track – Rux advised that the transient lodging tax was no longer going to be allocated for grants, but instead only marketing, so discussion explored funding for project such as sheltering the BMX track. Estimate cost \$750,000. Discussion on emergency fire responder access and hose line, hydrant: discussion to be held with TVF&R.
- Trolley discussion – Cheryl asked if there were a trolley in town, would you want a stop? Don advised there is space for a trolley stop.
- All material is preliminary. We will compile all into a master plan with cost estimates and scheduled a public meeting after January 1, 2019.
- Discussion on SDC rate increase schedule that the CPRD Board is following.

IV. Recommendations from City and County

- County – Land use application would be required, depending on annexation. If stays in county, just conditional use permit and possibly floodplain permits.
- City – Depending on UGB process City is engaged in now, there may be a UGB expansion required in order to annex this. Del Boca may actually increase the size of the park. Potentially, with other developments coming in future (Del Boca, Wyzniak? Christensen?), including surrounding bypass and landfill, this park property could increase. Rux said from his impression, landowners may be amenable to park accessing property from south pond at mill, along river, up Chehalem Creek, to park.

V. Look for public meeting after January 1, 2019.

VI. Summary of things to do –

- Look at fire with TVF&R
- Look at conditional use for main area or annexation
- Minimum of 20' wide strip to Charles St. in order to accommodate fire trucks.
- Explore interpretive signage
- Investigate costs of building the mill site back.
- Explore potential of Transient Lodging Tax, to drive offseason usage.
- Look at a strategy for funding

A



Existing Bridge Crossing

Sierra IV Multi-User – Concession Building Model 2085

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- [Model 2067](#)
- [Model 2084](#)
- [Model 2085](#)
- [Model 2086](#)
- [Model 2087](#)
- [Model 2089](#)



About this Concession Building Model

Romtec's Sierra IV Multi-User and Concession is stretched to offer more space for the concession stand and the building mechanical room. The extra space in these rooms can help your facility provide many types of great services. This model also offers large men's and women's public restrooms and a private entry, multipurpose storage room. For any popular sports complex, park, campground, or recreation site, this building has enough space for both you staff and your patrons!

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Romtec Architectural Concession Design

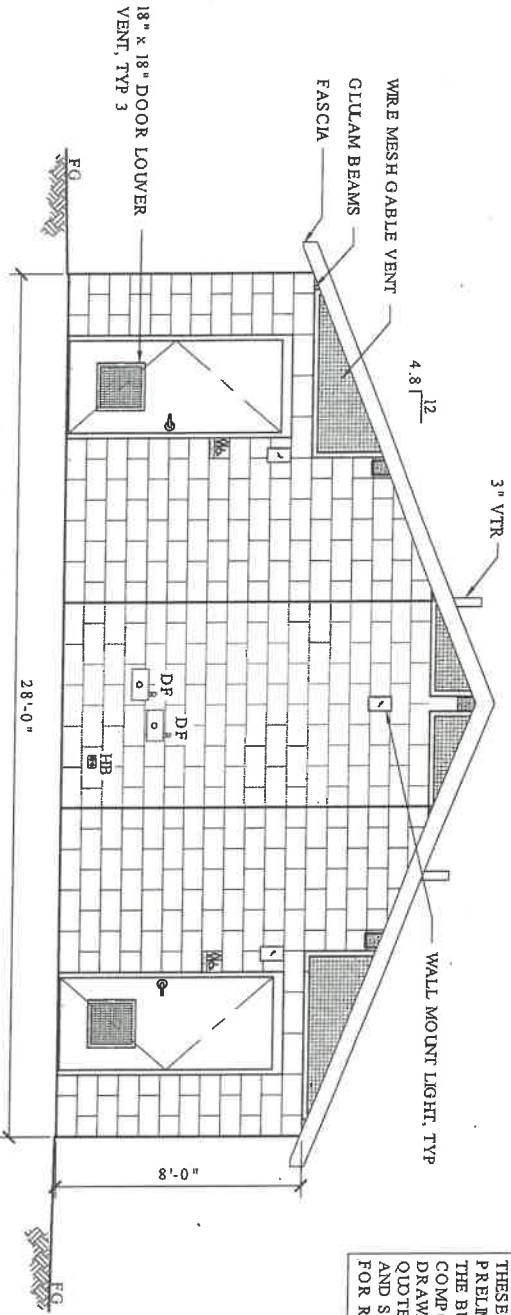
The large concession space on this Sierra IV can include many options in the building design, like a cooktop and vent hood or a grease trap. The large mechanical room is perfect for housing all types of park controls for lighting, security, and other features. Our in-house design team can configure this floor plan in any way you need, like adding a covered dining patio, restroom entrance privacy screens, or roll up doors for storage.

[View Design Options](#)

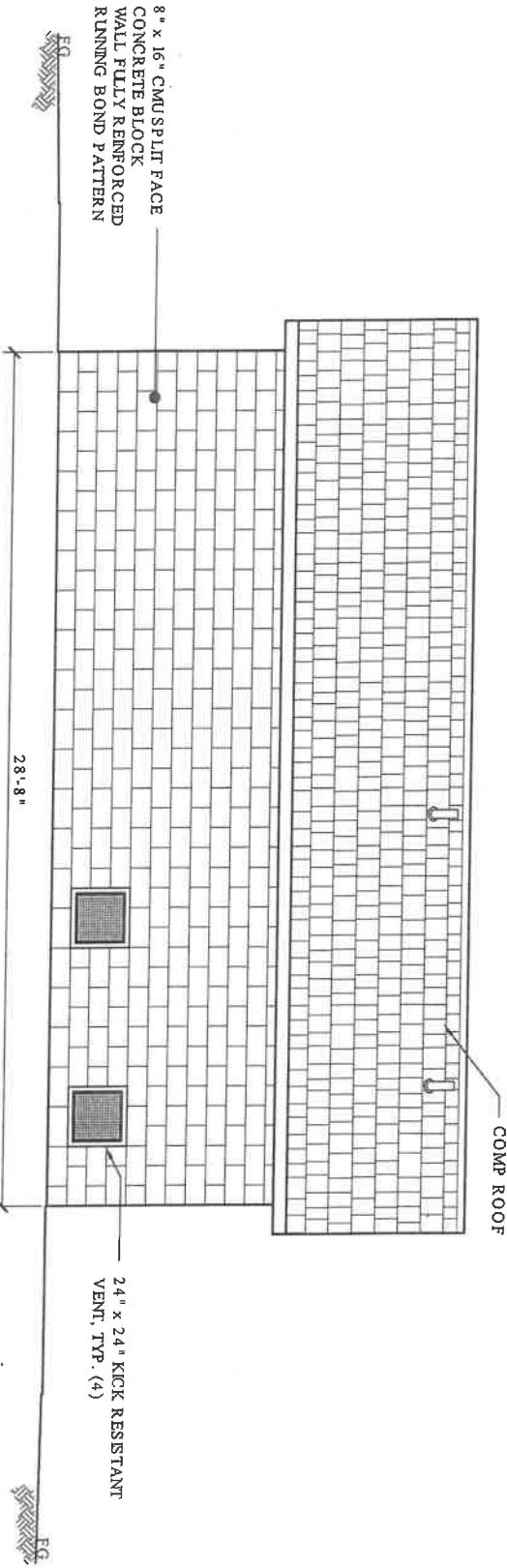
About Romtec Concession Construction

Romtec's construction services are the best way to get a project of this size completed quickly and affordably. Utilizing our services for turnkey construction gives you an expert onsite to quickly resolve issues without the need for change orders or delays. This gives a single partner from the preliminary project phases all the way through final building inspections. Your complete concession building can be procured through a single purchase, saving money for your budget.

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C ELEVATION VIEW
SCALE: 1/4" = 1'-0"

B ELEVATION VIEW
SCALE: 1/4" = 1'-0"

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PROJECT NO.	PROJECT TITLE
MODEL NO.	DATE
REVISIONS	DATE
DATE	BY
01/00/15	

PROJECT: 2015 SIERRA III MULTI-USER RESTROOM W/ CONCESSION & STORAGE
 CUSTOMER PROJECT LOCATION
 SHEET TITLE: ELEVATIONS

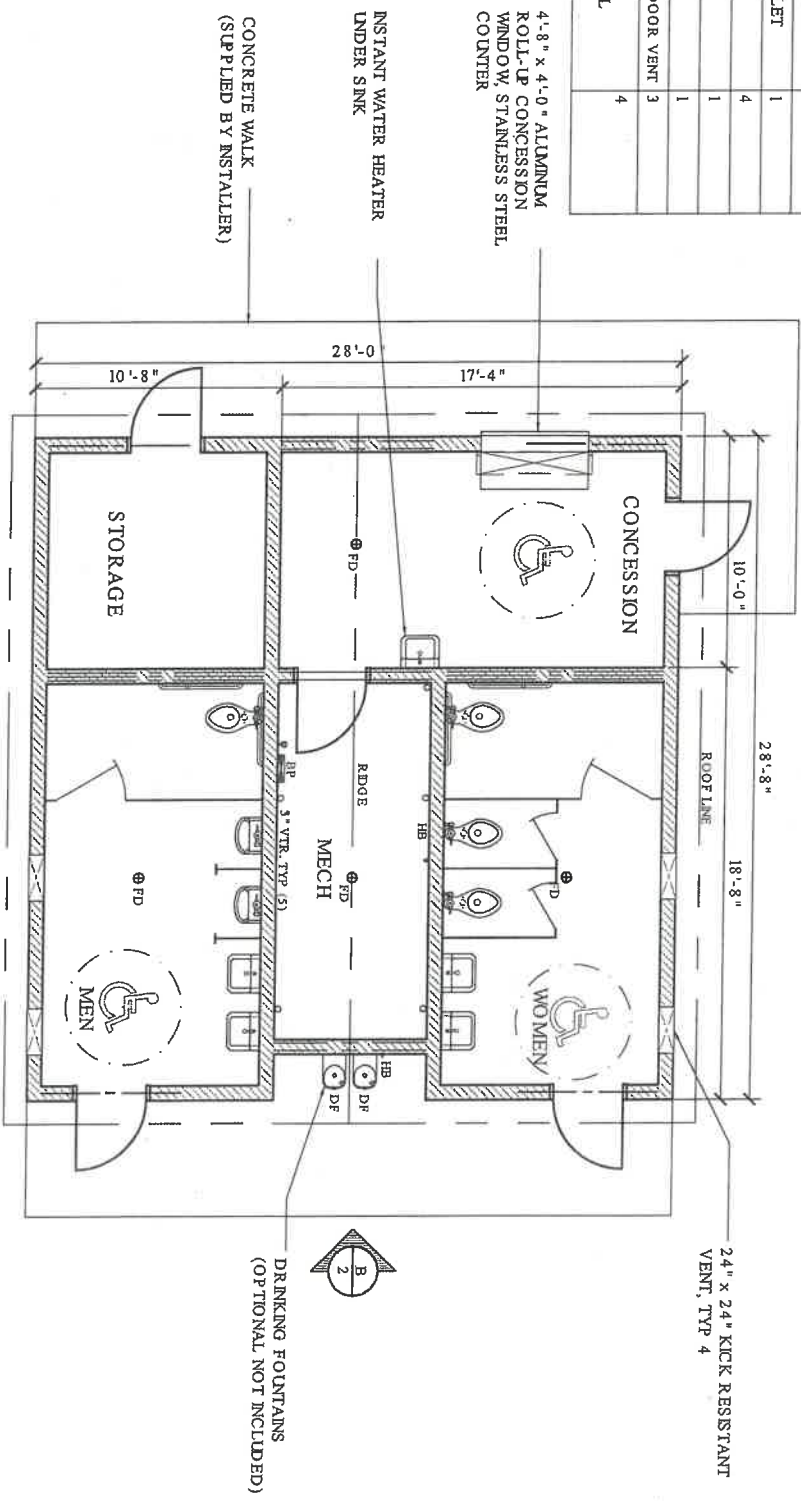
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PRELIMINARY

SYMBOL	DESCRIPTION	AREA/ QUANTITY
---	CABLE VENT	4
----	RIDGE VENT	4
-----	RIDGE WINDOW	2
=====	2x8 WOOD FILLER WALL	2
=====	EXTERIOR WALL LIGHT	6
=====	INTERIOR CEILING LIGHTS	3
=====	INTERIOR WALL LIGHT	2
⊕	ELECTRICAL OUTLET	1
⊙	FLOOR DRAIN	4
*HB	WALL HYDRANT	1
*HB-1	WALL FAUCET	1
18"x18"	LOUVERED DOOR VENT	3
24"x24"	KICKROOF WALL VENT	4

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WALL TYPE SCHEDULE
 8" REINFORCED CONCRETE MASONRY BLOCK WALL WITH MORTAR JOINTS, GROUDED SOLID ALL CELLS RUNNING BOND PATTERN.



1 FLOOR PLAN
 SCALE: 3/16" = 1'-0"

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PROJECT: 2015 SIERRA III MULTI-USER RESTROOM W/ CONCESSION & STORAGE

CUSTOMER PROJECT LOCATION

SHEET TITLE: FLOOR PLAN

MODEL NO. 2085

DATE: 07/00/15

REVISIONS:

NO. DATE BY

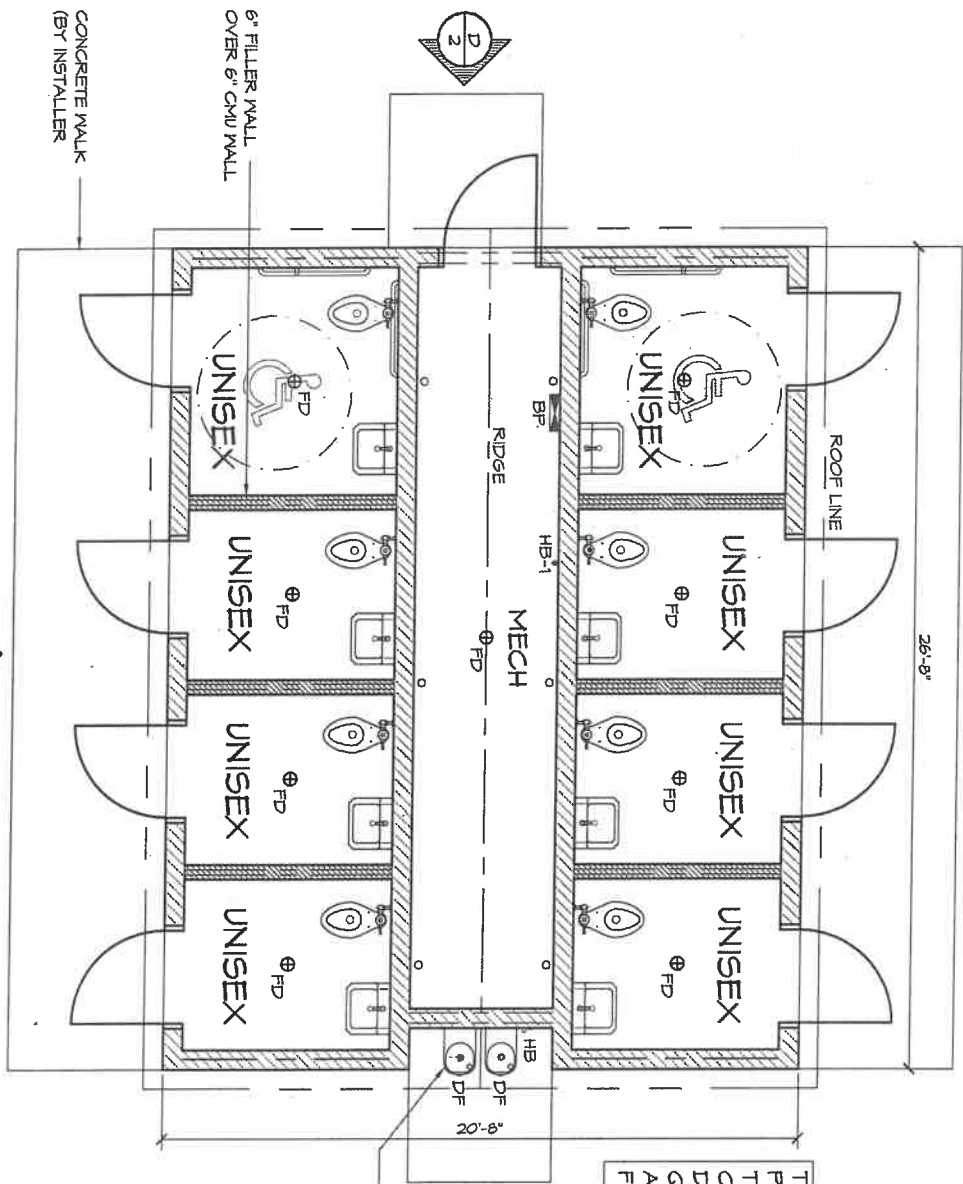
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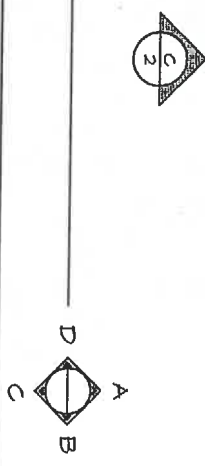
PRELIMINARY



Example of Restroom with Roof Extension Covering the Concession Component



1 FLOOR PLAN
SCALE: 1/4" = 1'-0"



WALL TYPE SCHEDULE

- 8" REINFORCED CONCRETE MASONRY BLOCK WALL WITH MORTAR JOINTS, GROUTED SOLID ALL CELLS RUNNING BOND PATTERN.
- 6" REINFORCED CONCRETE MASONRY BLOCK WALL WITH MORTAR JOINTS, GROUTED SOLID ALL CELLS RUNNING BOND PATTERN.

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DRINKING FOUNTAINS (OPTIONAL NOT INCLUDED)

LEGEND		SYMBOL	DESCRIPTION	AREA/ QUANTITY
—	GABLE VENT	4	4	
—	RIDGE VENT	4	4	
—	2x6 WOOD FILLER WALL	6	6	
—	EXTERIOR WALL LIGHTS	9	9	
—	INTERIOR WALL LIGHTS	8	8	
—	INTERIOR CEILING LIGHTS	2	2	
⊙	FLOOR DRAIN	4	4	
⊠	ELECTRICAL OUTLET	1	1	
—	18"x18" LOWVERED DOOR VENT	4	4	
⊠	WALL FAUCET	1	1	

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PROJECT: 2048 SIERRA II 8-PAK RESTROOM W/ STG/MECH ROOM

CUSTOMER PROJECT LOCATION

MODEL NO. 2048

DATE 00/00/15

REVISIONS

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SHEET NO. 1

SHEET TITLE: FLOOR PLAN

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Sierra IV Eight-Pak – Public Restroom

Model 2048

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About this Restroom Building Model

Getting eight private-entry bathrooms in a single public restroom building has never looked better than with Romtec's Sierra IV Eight-Pak. This building includes four rooms on each side that sandwich a central mechanical room. The mechanical room provides maintenance access to all of the building utilities. Private-entry restrooms are useful and comfortable features for many park applications, including sports parks, campgrounds, fairgrounds, and much more!

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Romtec Architectural Restroom Design

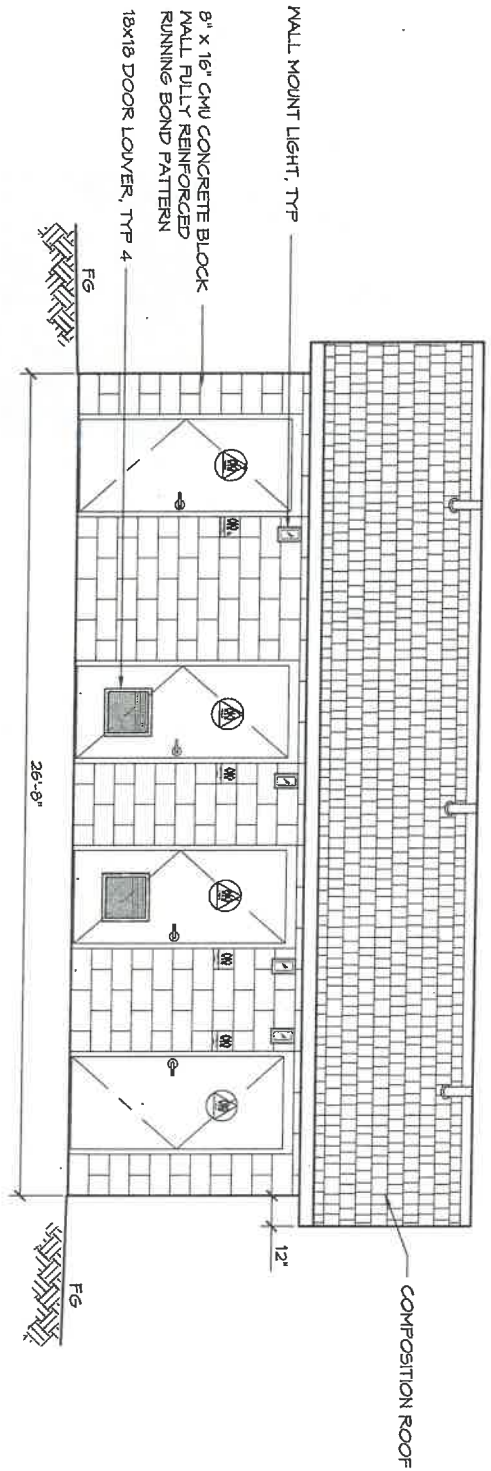
Private-entry restrooms require more space in the building floor plan, but this restroom building design utilizes narrower CMU block than the exterior walls to keep the total footprint as efficient as possible. This floor plan layout also includes two ADA accessible bathrooms and six economically configured bathrooms. Each private-entry bathroom is spacious, but added area in the ADA compliant bathrooms makes these rooms suitable for persons in wheelchairs.

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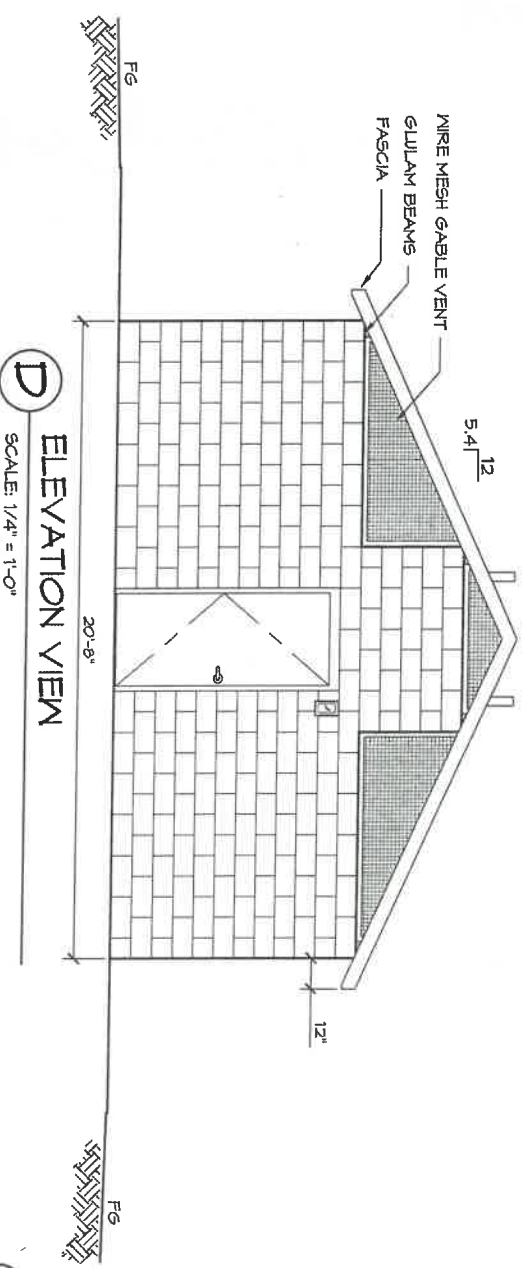
About Romtec Restroom Construction

Large restroom buildings have a higher cost, but you can save money when you get your Eight-Pak restroom building completed as a turnkey project. Using Romtec for the public restroom building construction offers many advantages. Our construction services allow you to get the completed building through a single purchase, from design through final inspection. Our construction crews are able to reduce your lead times and can help prevent issues onsite.

[Construction Services](#)



C ELEVATION VIEW
SCALE: 1/4" = 1'-0"



D ELEVATION VIEW
SCALE: 1/4" = 1'-0"

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PROJECT: 2048 SIERRA II B-PAK RESTROOM IV STG/MECH ROOM
 CUSTOMER PROJECT LOCATION
 SHEET TITLE: ELEVATIONS

MODEL#:	2048
DATE:	02/02/15
REVISIONS:	
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PROJECT#: 2048
 DATE: 02/02/15
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 SHEET NO. 2

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PRELIMINARY